

CITY OF MINNEAPOLIS

Green Zones Initiative Presentation of Recommendations

*Green Zones website:
[minneapolismn.gov/sustainability/
policies/green-zones](http://minneapolismn.gov/sustainability/policies/green-zones)*

Acknowledgements

- Green Zones Workgroup
 - Community members
 - City & agency staff
- Focus group participants
- Additional City staff

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Recap: What is a Green Zone?

- **Place-based** policy initiative aimed at improving **health** and supporting **economic development** using **environmentally conscious** efforts in communities that face the **cumulative effects** of environmental pollution, as well as social, political and economic vulnerability.



Recap: Previous Actions

- June 28, 2013: [City Council adopted the Minneapolis Climate Action Plan](#), including developing a Green Zone initiative as a cross-cutting strategy
- March 7, 2014: [City Council adopted the Minneapolis Energy Pathways Study](#), which listed establishing a Green Zones pilot with key community leadership as a recommended next step
- March 7, 2014: [City Council adopted the Minneapolis Climate Action Plan Two-year \(2014-2015\) Priorities](#), which included developing a Green Zone initiative
- February 12, 2016: [City Council Resolution 2016R-040](#) - creating the Green Zones Workgroup
- July 22, 2016: [City Council accepted a \\$10,000 grant from the Minnesota Pollution Control Agency \(MPCA\)](#) to support the City's Green Zones Workgroup
- November 28, 2016: [City Council staff direction](#) to report back with Green Zones recommendations by end of Quarter 1, 2017 and include best practices for mitigating gentrification and displacement

Recap: Green Zones Resolution – Feb 2016

- Establish a Green Zones Workgroup
- Develop data-driven recommendations
 1. Criteria and eligibility requirements of Green Zone designation
 2. Goals, expectations and metrics aimed at tracking progress within each designated Green Zone
 3. Strategies aimed at improving health and supporting economic development using environmentally conscious efforts

Recap: Green Zones HECE Update – Nov 2016

- Return with Green Zones recommendations by end of 1st quarter 2017
- Staff direction to report back on gentrification mitigation best-practices



Gentrification & Displacement Mitigation Research

- Literature review & case studies
- Preservation & provision of affordable housing
 - Inclusionary zoning
 - Density/small lot and unit sizes
 - Financial support for affordable development
- Recognize how public investments affect the market

Green Zones Community Input: Focus Group Synthesis



Focus Groups: Key Themes

Air Quality

- Continue/increase air monitoring
- Clean up or get rid of industry (make industry pay for it)
- Cumulative impacts assessment (like Phillips)
- Increase residents' awareness of contamination
- Incentives for businesses to achieve goals – lower taxes/fees for small, local businesses
- Buffer zone around industrial activity
- Reduce transportation-related air pollution

Brownfields/ Soil & Water Contamination

- Promote soil testing
- Clean up to “healthy” levels, build awareness
- Community spaces (e.g., gardens) on vacant lands
- Buyers of vacant lots should be from community
- Clean up industry on river and historic contamination
- Reuse for recreation and green jobs
- Add Water/River in goals
- Require redevelopment to improve health of community

Green Jobs

- Training & Awareness
- Contracts with EEO, WMBO, affirmative, disabled, union, local, etc.
- Barriers to jobs: Background checks/criminal records; education and experience; connections to jobs/employers; transportation; hours
- Having job reduces issues with housing and crime
- Apprenticeships and opportunities for youth
- Grow existing, local businesses area rather than attract from outside

Focus Groups: Key Themes (cont.)

Greening

- Opportunities on public land
- Pollinator-friendly plants, indigenous trees
- Community parks
- Access to water/parks/trees (see Above the Falls HIA)
- Renewable energy on multifamily and commercial buildings

Fresh food/healthy eating

- More opportunities for gardens/land for multifamily & rental housing
- Public gardening in parks
- Loosen restrictions on selling food grown on residential lots
- Food access = land access
- Awareness/education on “how to” and soil contamination

Housing

- Energy efficiency in housing
- Improvements to aging housing/apartment complexes
- Barriers : criminal background, evictions, UDs and language/citizenship are barriers, creates higher rents, overcrowding, evictions, homelessness
- Provide money for air filters in homes for air quality, ventilation
- Creative/diverse housing opportunities (co-ops and co-housing)
- Preserve existing affordability of housing
- Tie improvements to keeping rent affordable
- More lead testing/awareness

Focus Groups: Key Themes (cont.)

General

- Engage schools, kids (opportunity for engagement/awareness and vulnerable population)
- Focus on most vulnerable populations, especially children
- Say “environmental racism”
- How will Green Zones be different (than existing City policy/work)?
- Crime reduction
- Green Zones should be implemented/approved even if no funding
- Do not displace people
- Be careful of gentrification during community improvements
- Build community/culture not just “improvements”

Community Engagement

- Unite vulnerable communities – don’t make them continue to compete against each other for limited resources
- Community-led/Community-owned/Engage community – implement community’s priorities (so they don’t feel like City is pushing residents out of community and making it “for white people”)
- Residents want seat at decision-making table
- Foster community engagement, capacity building (ongoing)
- Be clear how “x,y,z” policy benefit the community and how it does not benefit community

Designation Criteria

- Like that starting small and most vulnerable populations/greatest number of people with greatest burden
- Like that Workgroup divided weight of environment and equity equally
- Include GAF and UHT in North Green Zone, will benefit NE even if Green Zone is in North
- River unites not divides
- How do you select the next areas? How long do you stay a Green Zone?
- Make sure policy language doesn’t result in other areas becoming less “green”

Green Zones Goals & Strategies



Lens: Advance equity and prevent displacement and gentrification

Critical Considerations:

- Focus on most vulnerable (low-wealth, over-burdened, people of color, indigenous people, youth, disabled, older adults)
- Community-led planning
- Homegrown development & community ownership
- Be innovative, creative, courageous, flexible and adaptive



Potential Metrics: Advance equity and prevent displacement and gentrification

Goal area	Existing Conditions	Long-Term Goal	Possible Short-Term Measure	Equity Evaluation
Equity	<p>Nearly 40% of Tier II and Tier III rental housing are located in less than 10% of the City's Census Tracts, also low income communities of color.</p> <p>Life expectancy in these same neighborhoods is less than 75 years compared to 81 region-wide and over 84 in the highest income neighborhoods.</p>	Health, employment and quality of housing and neighborhood environment are not determined by the color of a person's skin or economic status.	Green Zones are selected based on the communities with the greatest disparities in health outcomes, largest communities of color and concentration of poverty.	Have conditions and outcomes improved for those that are the worst off (low-income people of color and indigenous people)?
Displacement/ Gentrification	From 2010-2015, over 10,000 rental units were sold in Minneapolis with the highest rate of apartment building sales happening in and adjacent to the Phillips community. Sale prices per unit increased over 50% and average rent increased 11% during that same time period.	Existing residents who want to stay in their neighborhood have the option for quality, affordable housing.	Number of projects implemented using best practices for preventing gentrification and displacement, including preserving affordable housing, supporting living-wage jobs and community-driven planning processes are the best means for preventing displacement.	

Goal: Clean Up Soil & Water Contamination & Redevelop Brownfields

Core Components:

- Identify contamination and potential health impacts
- Clean up even if no immediate redevelopment project
- Access to funding for speculative clean-up

Critical Considerations:

- Community-identified sites
- Living-wage jobs for local residents on brownfield redevelopment sites
- Purposeful, compatible, appropriate new development



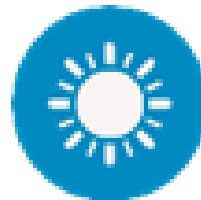
Goal: Improve air quality, livability and pollinator habitat through **vegetation, clean energy and energy efficiency** (“greening”)

Core Components:

- Tree and pollinator-friendly planting to reduce stormwater runoff, water pollution, air pollution
- Clean energy and energy efficiency
- Green building standards

Critical Considerations:

- Community climate resilience
- Community-owned energy
- Training opportunities



Goal: Improve air and environmental quality in business and transport

Core Components:

- Reduce use of harmful chemicals & increase energy efficiency in business operations
- Address contribution of transportation and non-point source pollution

Critical Considerations:

- Assess cumulative impact of pollution sources
- Balance supporting businesses and meeting community health needs; prioritize people, esp. most disadvantaged



Goal: Increase **green job/ career** opportunities for residents through Green Zones activities

Core Components:

- Work with partners to...
 - Connect Green Zone employers with local workers
 - Promote awareness of green jobs/careers, training and certification

Critical Considerations:

- Incentivize local hiring
- Reduce barriers to green jobs/training (background check, exam)
- Support entrepreneurs, small business ownership and jobs, especially for disadvantaged populations and youth



Goal: Improve affordability, availability and environmental quality of housing

Core Components:

- Remove lead, asthma triggers, radon, mold and energy issues
- Green standards for new structures and renovation

Critical Considerations:

- Improve environmental quality of rental properties
- Preserve affordability/availability – overcome barriers such as eviction record, UDIs, credit score, etc.
- Promote homeownership or cooperative housing
- Support Universal/Inclusive Design



Goal: Create healthy, affordable **food access** by supporting a local system of growing, production, distribution

Core Components:

- Partner with active organizations in local food
- Identify opportunities for renters to garden

Critical Considerations:

- Reduce barriers to grow produce and create and sell value-added products in the community
- Explore new models of ownership/membership for co-ops, markets, gardens, etc.



Proposed Green Zones Designation Criteria



Proposed Designation Criteria

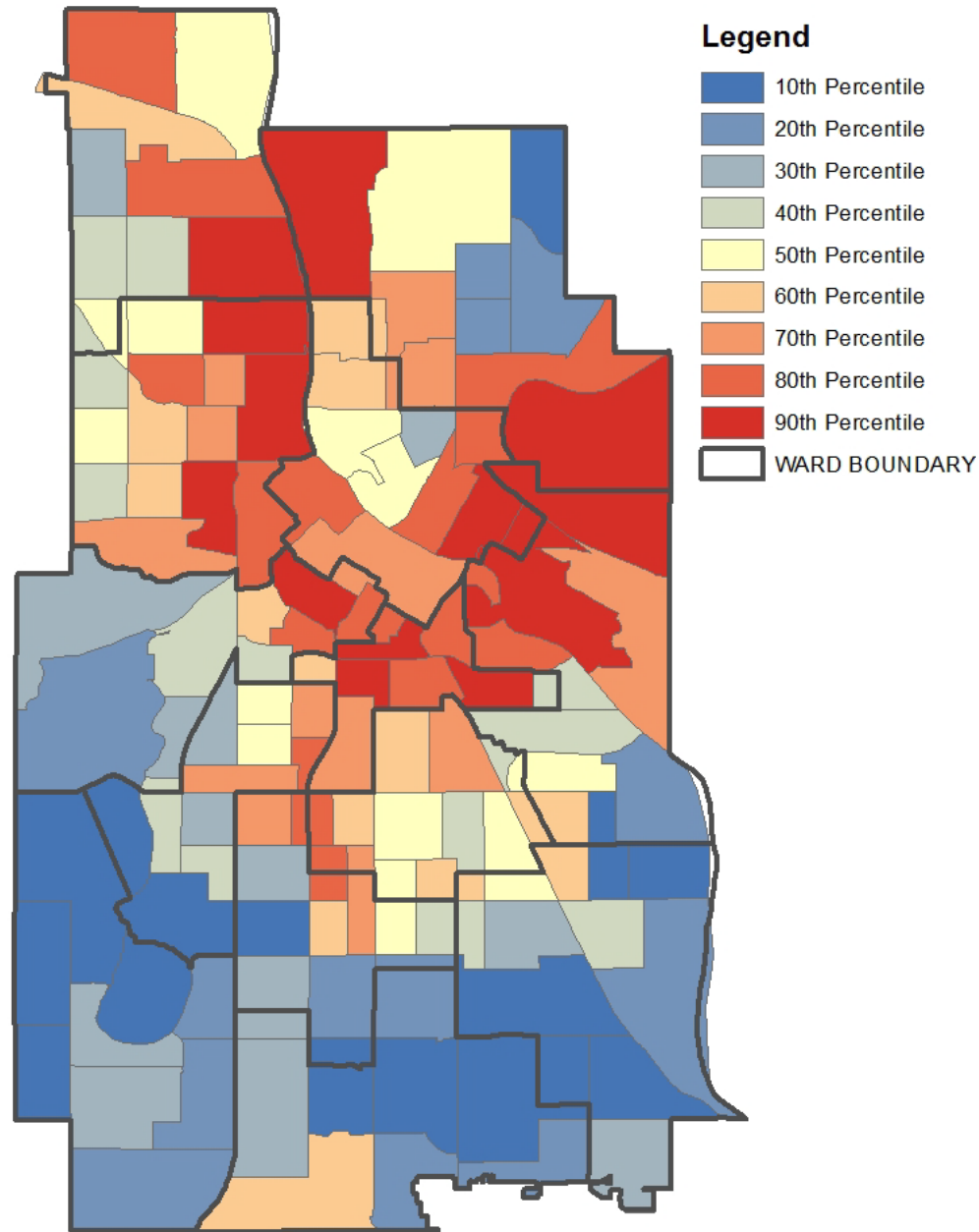
Environmental Evaluation

- + Air quality (MPCA modeled data)
- + Brownfields (brownfields & permitted sources)
- + Housing (rental tiers, affordability gap, cost burden)
- + Jobs (unemployment, proximity of jobs)
- + Greening (vegetation)
- + Food access (farmers' markets, grocery stores, food shelves, corners stores)
- [Water Quality & Access]*

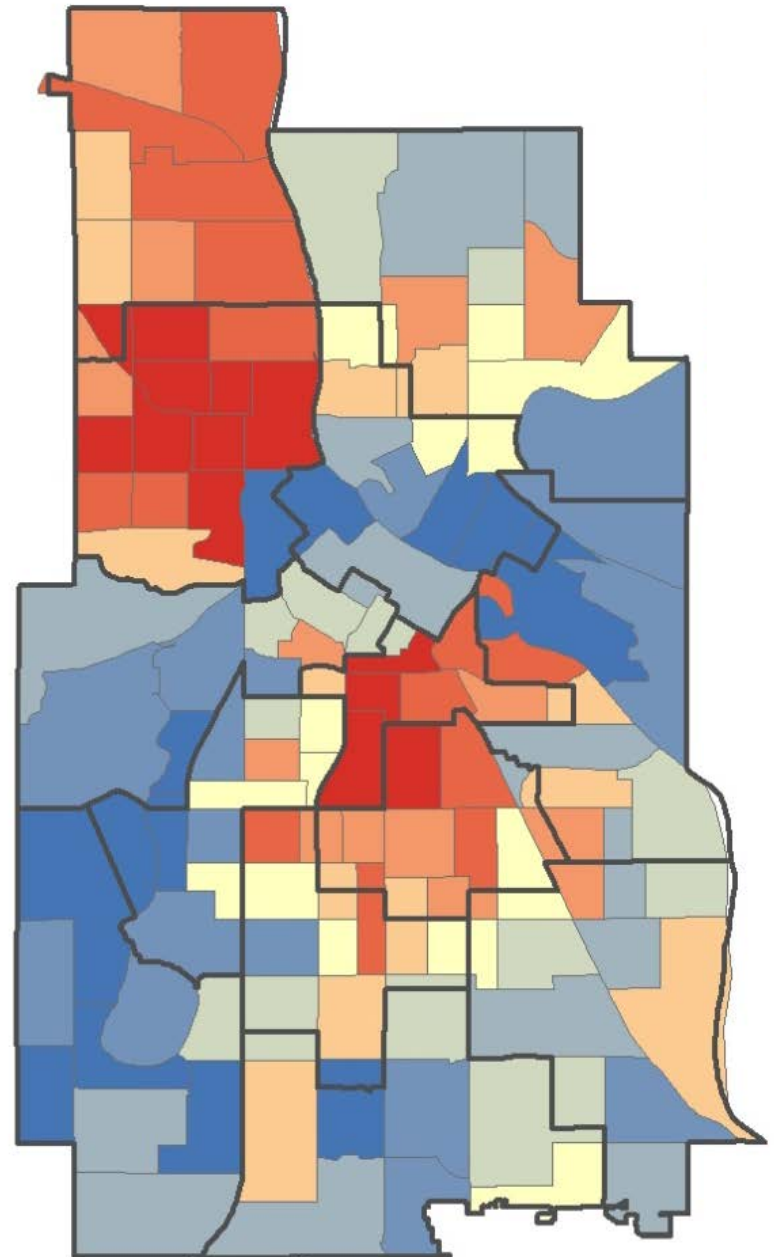
Equity Evaluation

- + Health Outcomes (asthma, heart attack hospitalizations)
- + Lead risk
- + English proficiency
- + Disability status
- + Older adults (age 65+, nursing homes)
- + Youth (children <5, child care centers, schools)
- + Concentrated Poverty with majority People of Color and Indigenous People
- + Educational Attainment

Environmental Evaluation

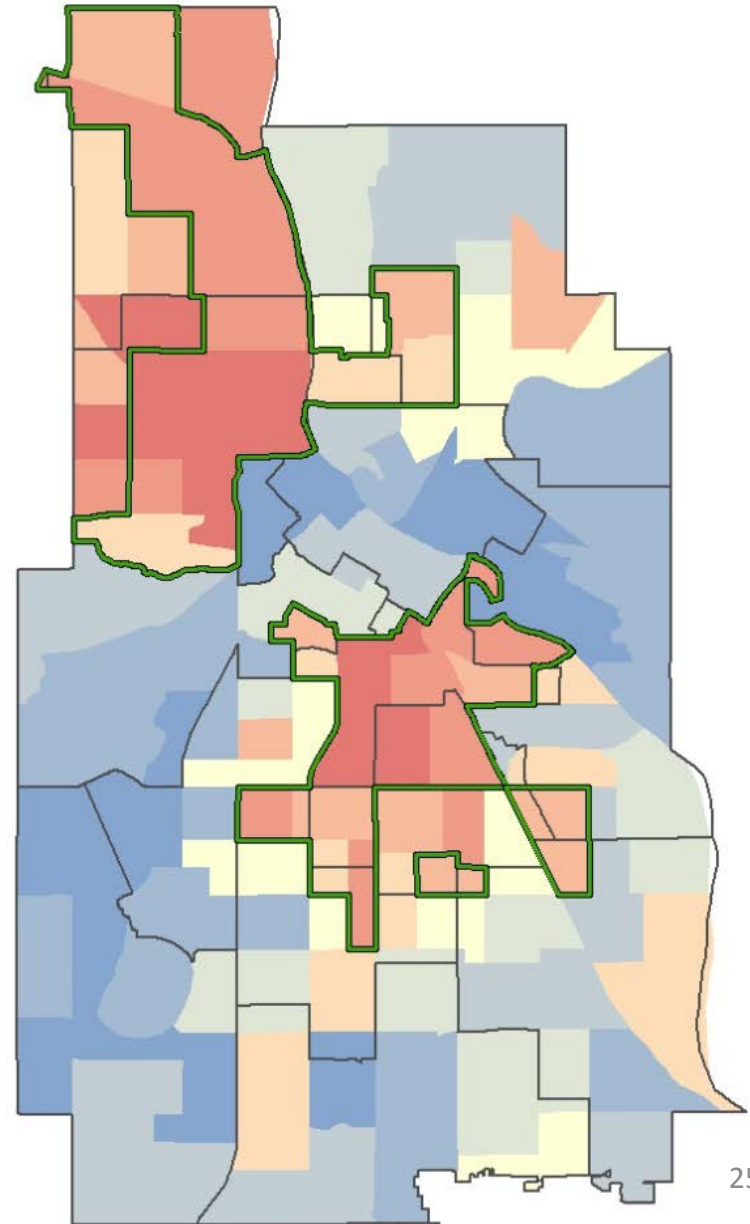
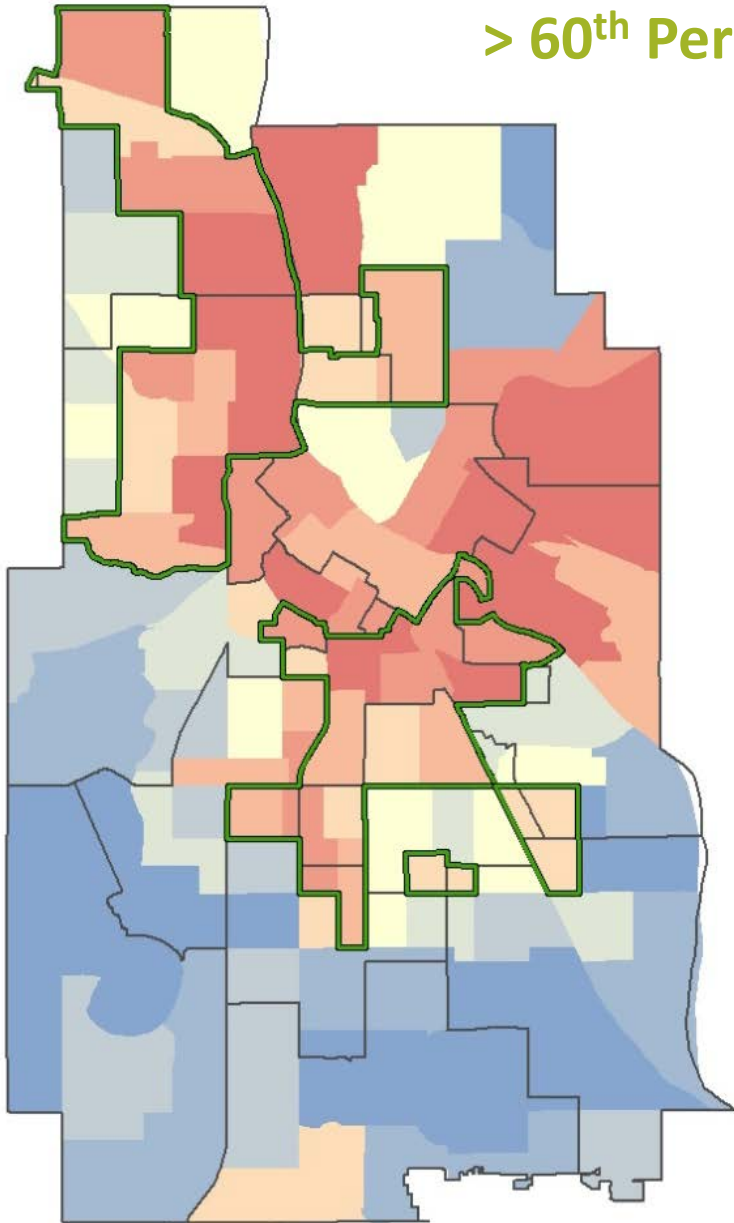


Equity Evaluation



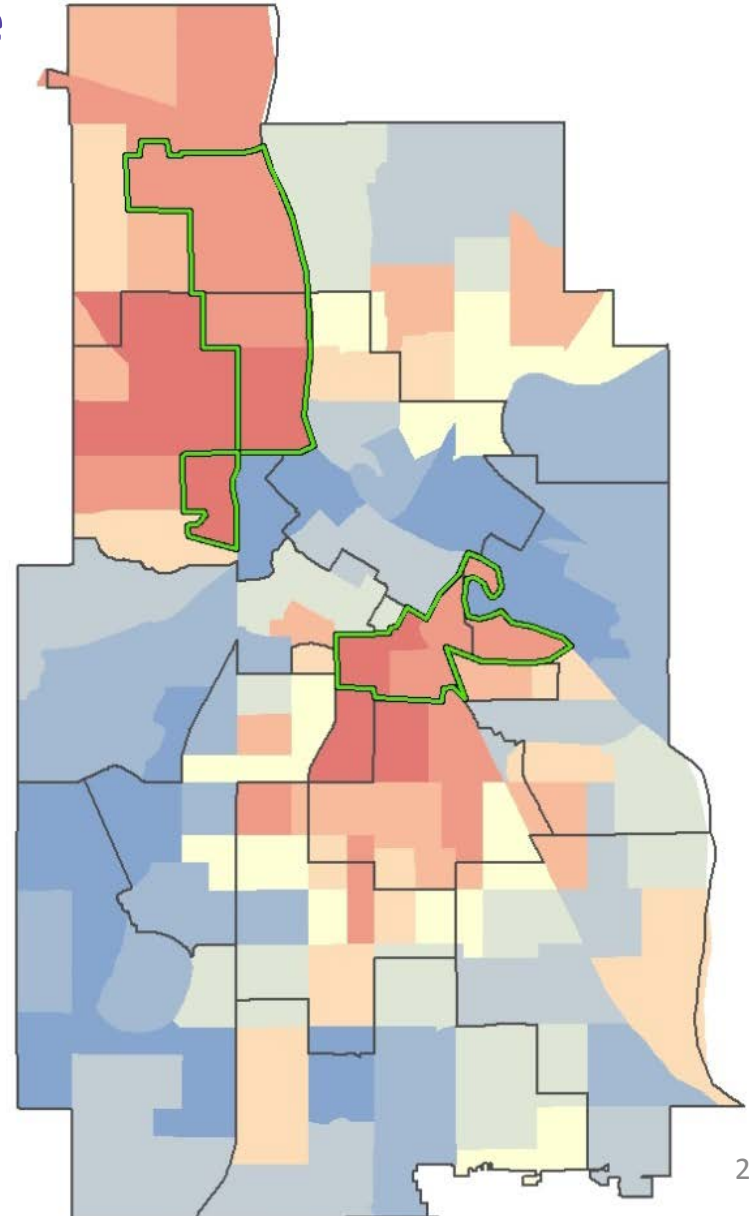
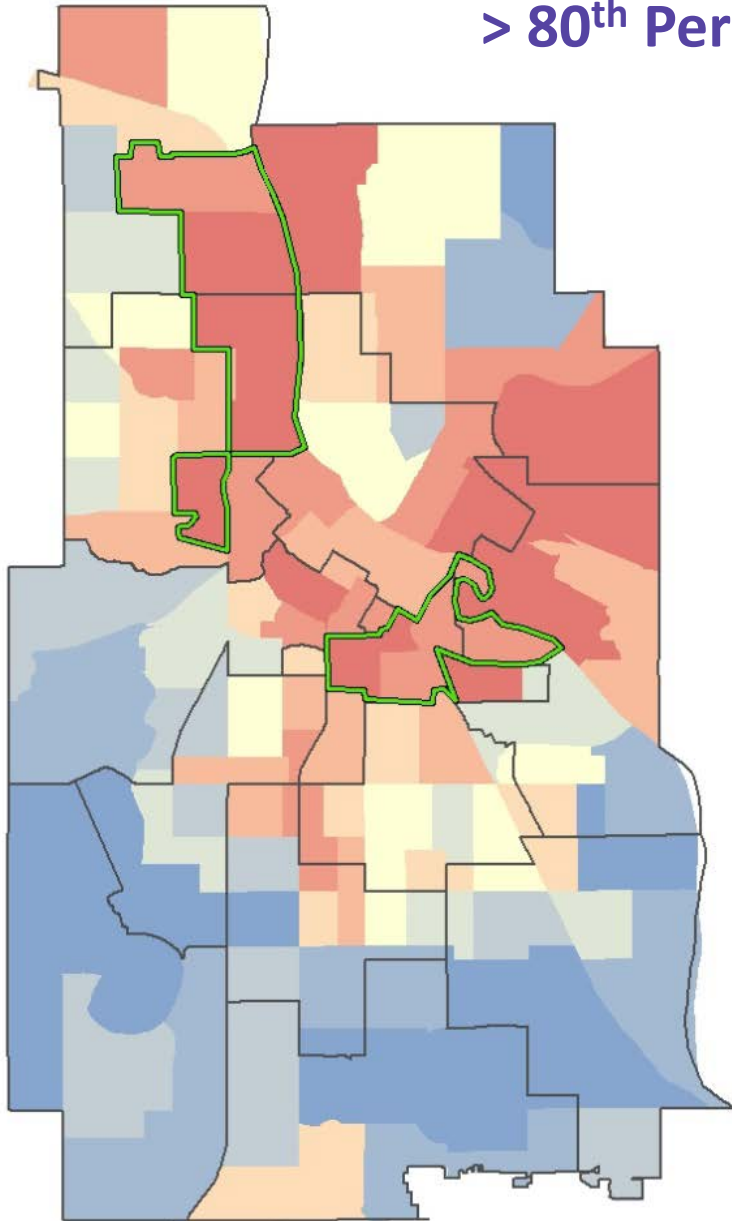
Environment & Equity Overlap

> 60th Percentile



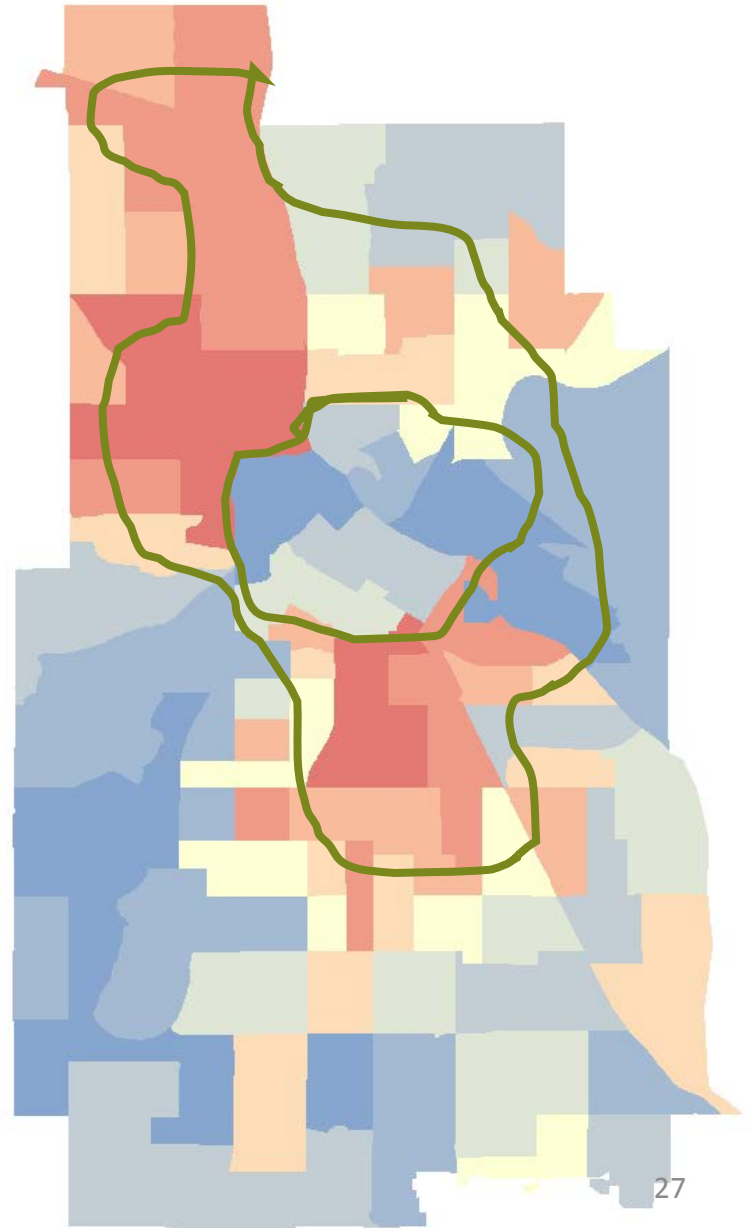
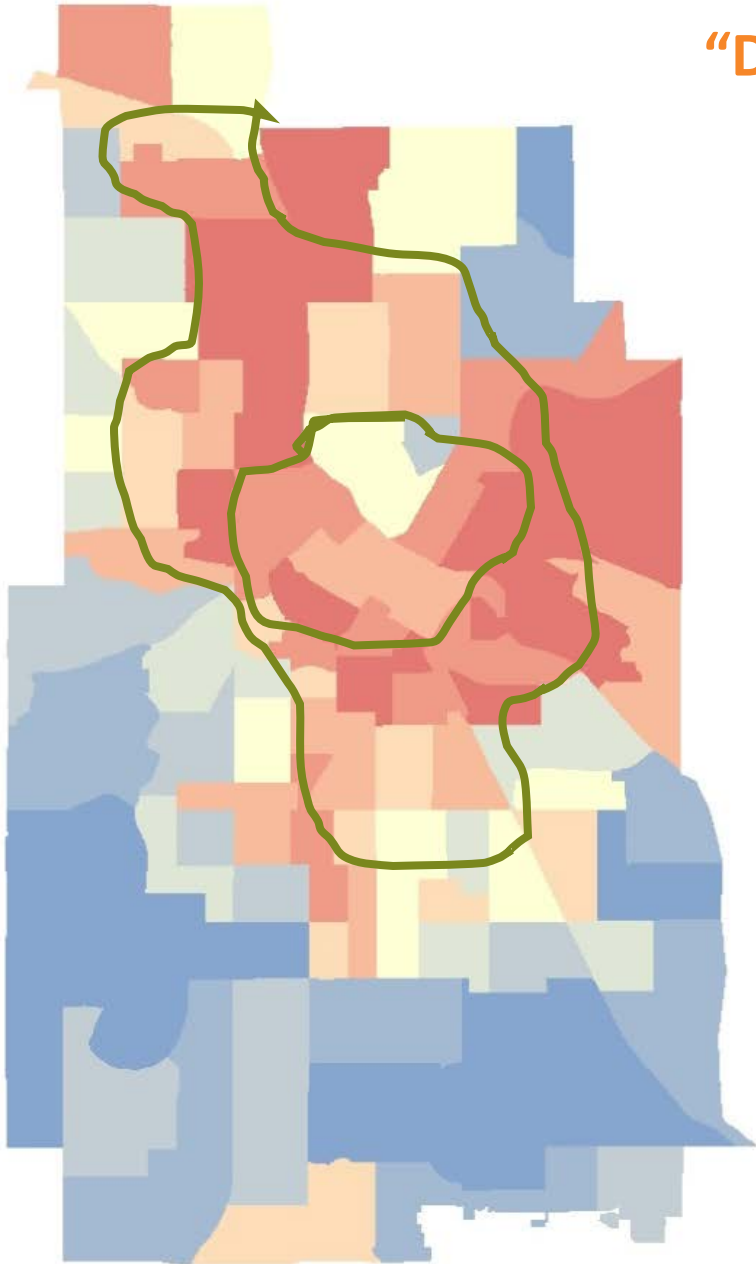
Environment & Equity Overlap

> 80th Percentile

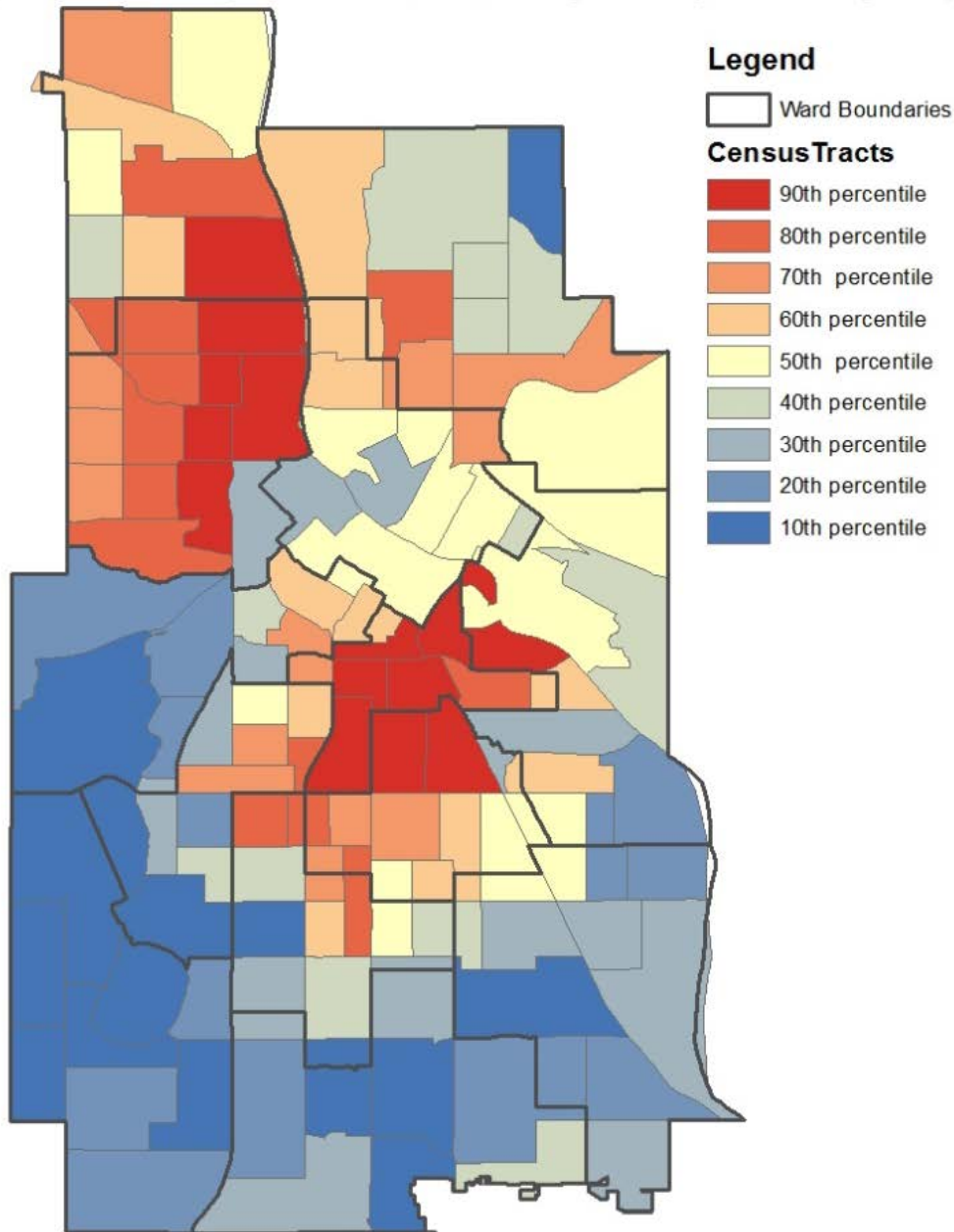


Environment & Equity Overlap

“Donut”



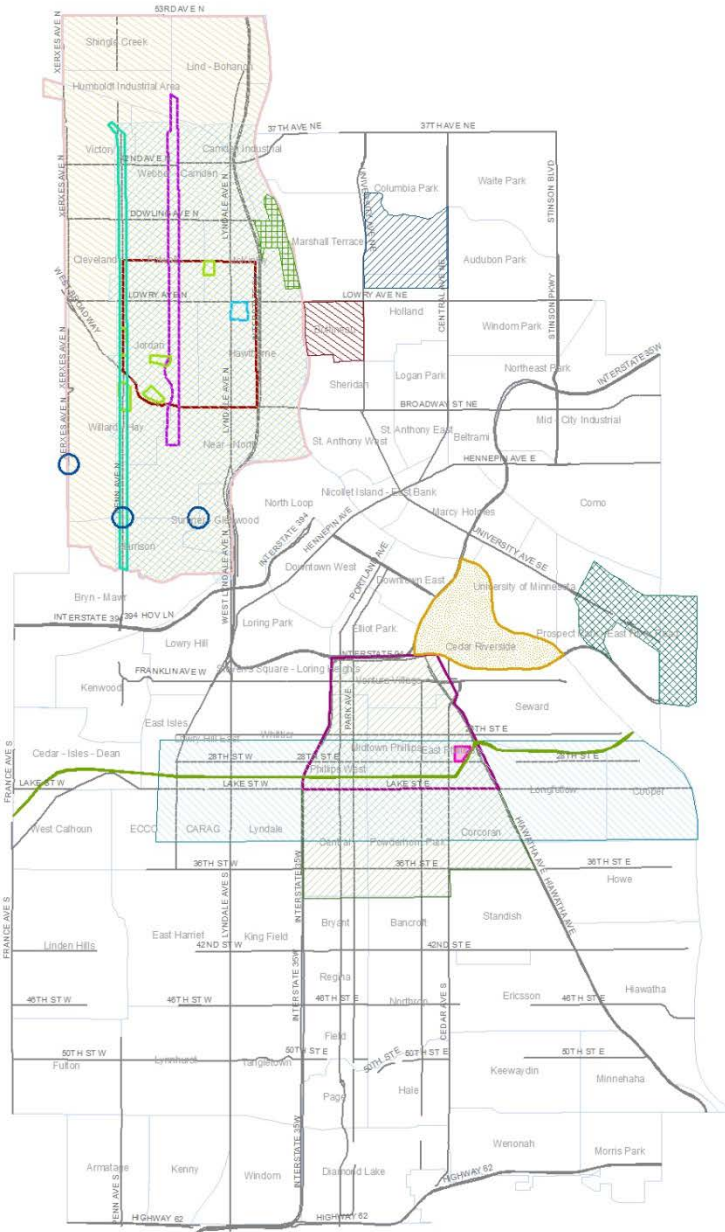
Environment & Equity Overlap






















Equity + Environment

Equity category has equal weight as all the environmental variables combined
(Equity = 1, Environment = 1)

Place-based Initiatives in Minneapolis



Place-Based Initiatives

-  Minneapolis Promise Zone
-  Northside Fresh
-  Green Homes North (2012-2017)
-  Hawthorne EcoVillage - North Side Home Fund
-  North-South Greenway
-  North Side Home Fund
-  Northside Achievement Zone
-  Upper Harbor Terminal
-  Penn Ave Corridor
-  Blue Line Extension Stations
-  Allina Backyard Initiative
-  Phillips Partnership
-  Midtown Community Partnership
-  Water Yard Site Guidelines Workgroup
-  Cedar Riverside Partnership
-  Midtown Greenway
-  Bottineau Neighborhood - EEQL
-  SAAC (Shoreham Area Advisory Committee)
-  Towerside Innovation District

Existing Programs/Potential Partners

Minneapolis Programs/Potential Partners:

- Lead & Healthy Homes Program
- Green Business Cost Share
- Urban Forestry Project (for businesses)
- City Trees program (for residences)
- Great Streets programs
- B-TAP
- GrowNorth
- Green Your Business programs
- 2% Loan program
- Employee and Training Assistance
- Community innovation fund
- One Minneapolis fund
- Community Participation Program
- Homegrown Minneapolis Loan

- CPED Alternative financing program
- CPED Business development fund

Other Programs/Potential Partners:

- MnTAP
- MPCA Small Business Assistance program
- Chamber of Commerce Energy Smart
- PACE
- Trillion BTU
- DEED Redevelopment Grant program
- Hennepin County Healthy Homes
- Watershed Management Organizations
- Brownfields funds through Hennepin Co ERF, DEED, Met Council, EPA
- Sustainable Resources Center
- CenterPoint Energy and Xcel Energy

Workgroup Member Statements



Questions?

