

City of Minneapolis

DECKS AND BUILDING PERMITS

1 & 2 Family Dwellings

Why do I need a permit?

The City of Minneapolis adopts the state of Minnesota building code (MNSBC) and its associated state statutes and rules.

The City of Minneapolis is the Authority having Jurisdiction and is responsible for the enforcement of state and city rules, regulations and ordinances.

The permitting process assures that local codes and ordinances are followed.

Is a building permit required to build my deck?

- Yes, deck projects require a permit, even if you are tearing down an old deck and reconstructing one the same size.
- The exception for obtaining a permit is a deck less than 30" in height above ground and is constructed a remote distance from the house so as to not provide access to any door to the home from the deck platform or steps. However, you still require Zoning approval for size & location.

Who can obtain the Building Permit?

- State of Minnesota Licensed Building Contractor (with copy of Minnesota license)
- or
- The owner of the home (as stated on the Hennepin County property records web site, or if a new owner you must have your valid Minnesota Drivers License with the matching address)

What do I need to bring to get a building permit?

Owner: DRIVERS LICENSE

- Contractor:

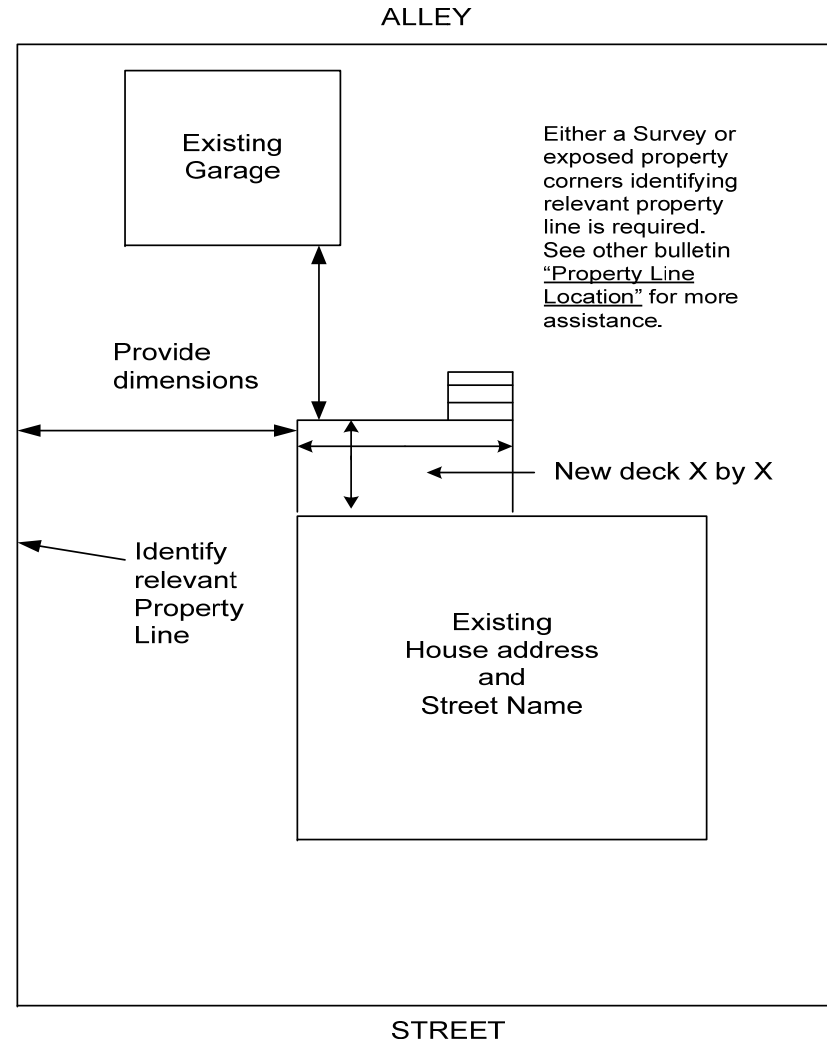
MN CONTRACTOR
LICENSE

- 2 sets of Construction Plans consisting of the **site plan, framing plan and cross section.**



What do I need to bring to get a building permit? (continued)

- **SITE PLAN** – A representation of your property illustrating property lines with dimensions to your house, garage and where you intend to build your deck. (See city ‘Deck’ bulletin.)



Some brief points

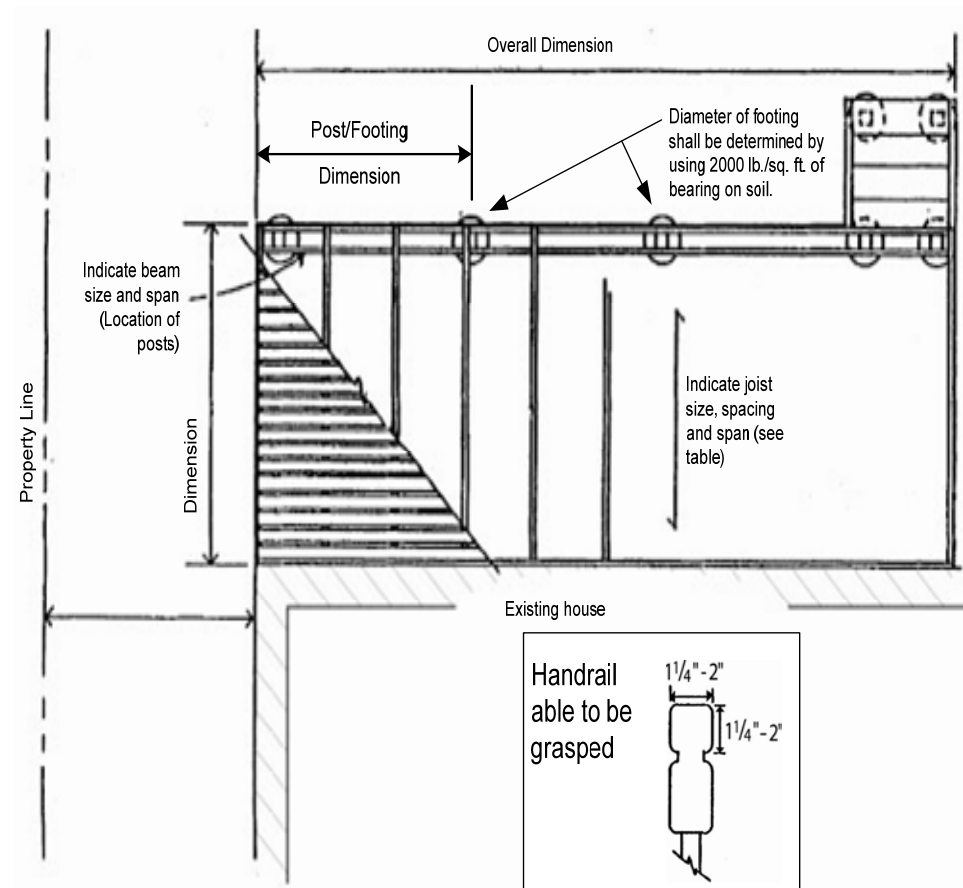
- The fence is not the property line. It may be an indicator as to its approximate location, but only revealing the property corners and stringing a line will provide a true property line.
- If you can not locate your property corners, you will be required to contact a licensed Surveyor to locate and install, at least, the corners most relevant to your project.
- The Hennepin County website may provide you limited property information that may assist you with your Site Plan for overall property configuration and dimensions.

PROPERTY CORNER



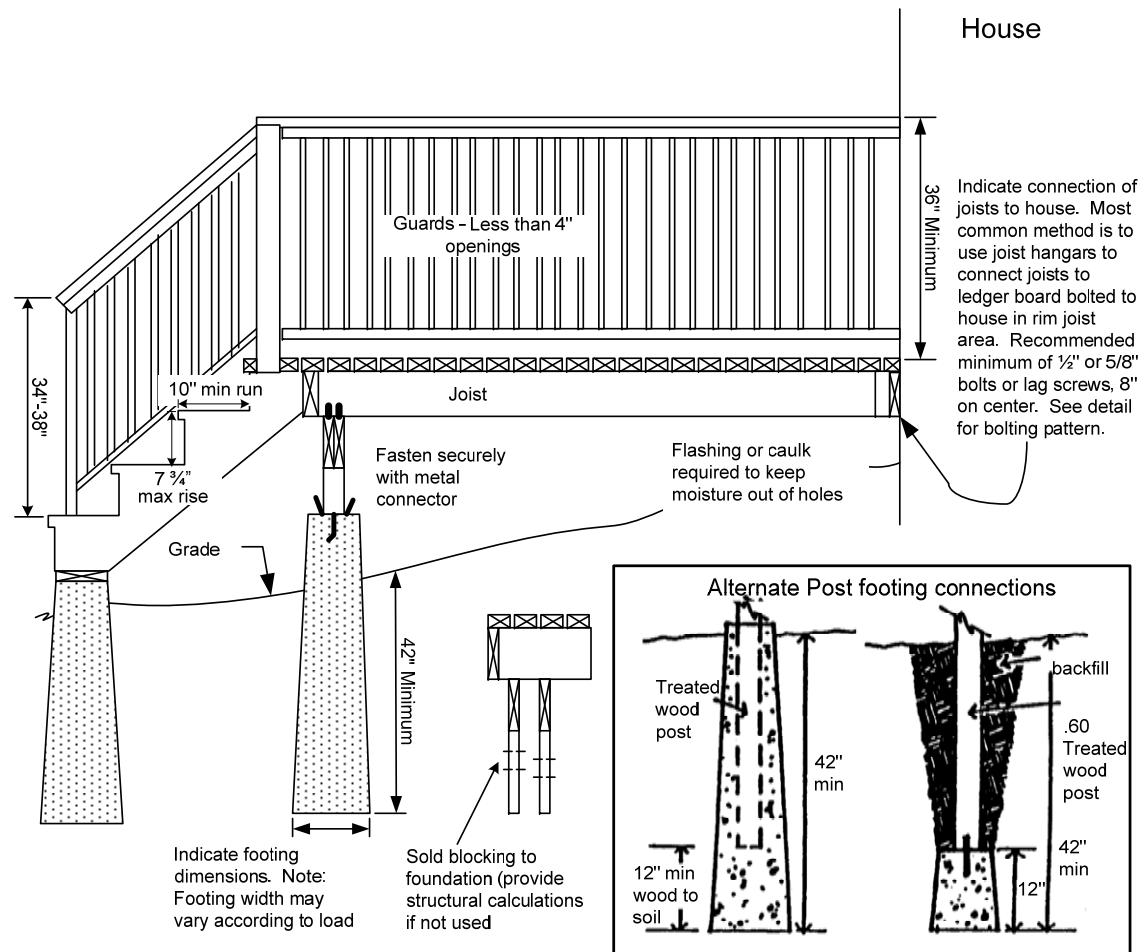
What do I need to bring to get a building permit? (continued)

- **FRAMING PLAN** – consists of a birds eye view with notation illustrating the overall size, dimensions, location of footings, posts, beams, size/spacing/direction of joists, decking and stairs.



What do I need to bring to get a building permit? (continued)

- CROSS SECTION - A**
 “cut through” view of the deck with notations showing dimensions of footings, posts, beams and joists, connection to house, stairs with rise and run, handrails, guards and baluster spacing.



Some brief points

- Plans are not required to be prepared by an architect; however, if you are unable to prepare plans that are clear and sufficient to convey the information needed, then the services of an architect, contractor or drafting service will be of help to you.
- Some lumber stores may provide a computer generated construction plan and materials list. These can sometimes be acceptable submittals, along with site plans.

What is the permit process like?

- The most expeditious way to get a permit is in person at our office downtown. Service is first come first served, and waiting times may vary depending on volume of customers. You might expect about an hour to get a permit.
- Most permits for decks can be issued the same day, provided you have the information described.

Free Parking!

There is free parking in our designated lot for those who come to the downtown office for a building permit.

[http://www.ci.minneapolis.mn.us/](http://www.ci.minneapolis.mn.us/inspections/docs/free-parking-info.pdf)

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What is the permit process like?

- On arrival at our office, stop at the front desk to receive your service number. Minneapolis Development Review staff will guide you through the proper approvals as your service number is called.
- Your first visit will be with Zoning staff to review size and location of the proposed deck on your Site Plan. It is a good idea to contact zoning (call 311) for setbacks and any other zoning requirements before preparing your plans.

What is the permit process like?

- After Zoning approval, your next visit is with Plan Review staff to review your deck construction plans.
- Plan review staff discuss code items with you about your deck plans, value of work and completes your permit data in the computer system and approves your plans and permit application.
- Your final service call will be from MDR Permit counter staff to purchase your building permit. They also provide you information on your building inspectors name & contact number.

What is Plan Review looking for more specifically?

- Your plans represent the project. Plans need to be specific so they could be given to someone else to build the deck without asking you any questions. We verify that specific notations and materials on the plans meet Building Code.

For example;



What is Plan Review looking for?

- Some review items include the following;
- Treated or decay resistant lumber, or approved composite material.
- Joists do not exceed span for size, spacing and direction;
- Beams are of sufficient size to carry the load; this is dependent on how far apart your posts and footings are;
- Whether or not the deck is connected to the house with a ledger board and proper fastening is detailed.
- Footings are sufficient size to carry the load and show frost depth minimum of 42" below grade;
- Stairs meet rise and run and provide proper handrail.
- A proper Guard and baluster spacing if more than 30" above grade.

Visiting
with Zoning
and Plan
Review staff
at the counter
for permit
approval.



Getting your permit from MDR permit counter staff after zoning and plan review approvals. You may now proceed with building your deck.



What if I can't make it downtown?



- As an alternative, you may mail in your application, 2 sets of plans and your payment. It may take up to 20 days to process and return your approved plans and permit to you before you begin work. To verify your fee, call Mpls 311 and someone will contact you with the fee amount before sending in payment. Improper Value of Work and fee payments sent into our office can delay a smooth process and require more fees to be mailed before the permit is issued.

How much does a permit cost?

- Review the fee schedule on the reverse side of the building permit application form.
- Permit fees are based on Value of Work/contract amount, which includes all labor, materials and overhead.
- For homeowner deck projects with lumber store materials price list, take twice the cost of materials to arrive at Value of Work. Otherwise \$20 per sq.ft. estimates well without a materials price list.
- As an example, the Value of Work for a deck 200 sq.ft. in size is \$4,000 with a permit fee of \$202.64.

Permit fee payment

- Forms of Payment include Visa, Master Card, Diners Club, American Express, Personal check or cash.



Once you have the Permit

- When you obtain your building permit, you will have the name and phone number of your inspector listed on the permit.
- It is your responsibility to call for the appropriate inspections.
- Please read your permit. Required inspections are listed at the end of the permit.
- Begin your deck project with inspections in mind.
- Allow at least 24 Hr. notice for your inspector to provide an inspection.

Don't forget!



**GOPHER STATE
ONE CALL**

CALL BEFORE YOU DIG

651-454-0002 -Metro / 800-252-1166 -Greater MN
www.gopherstateonecall.org

How long are permits good for?

- Work must begin and first inspection be made within 180 days.
- Work must be completed within one year of permit issuance.

Required Inspections and what the Building Inspector is looking for.

- Setbacks and deck location are per approved plans
- Depth and sizes of footings
- Framing and its connections
- Treated lumber size, spacing and direction or other approved materials
- Guards, stairs, handrail and other details are per code

Stringing the property line

Reveal your property corners and string the line for the Inspector to verify approved setbacks.



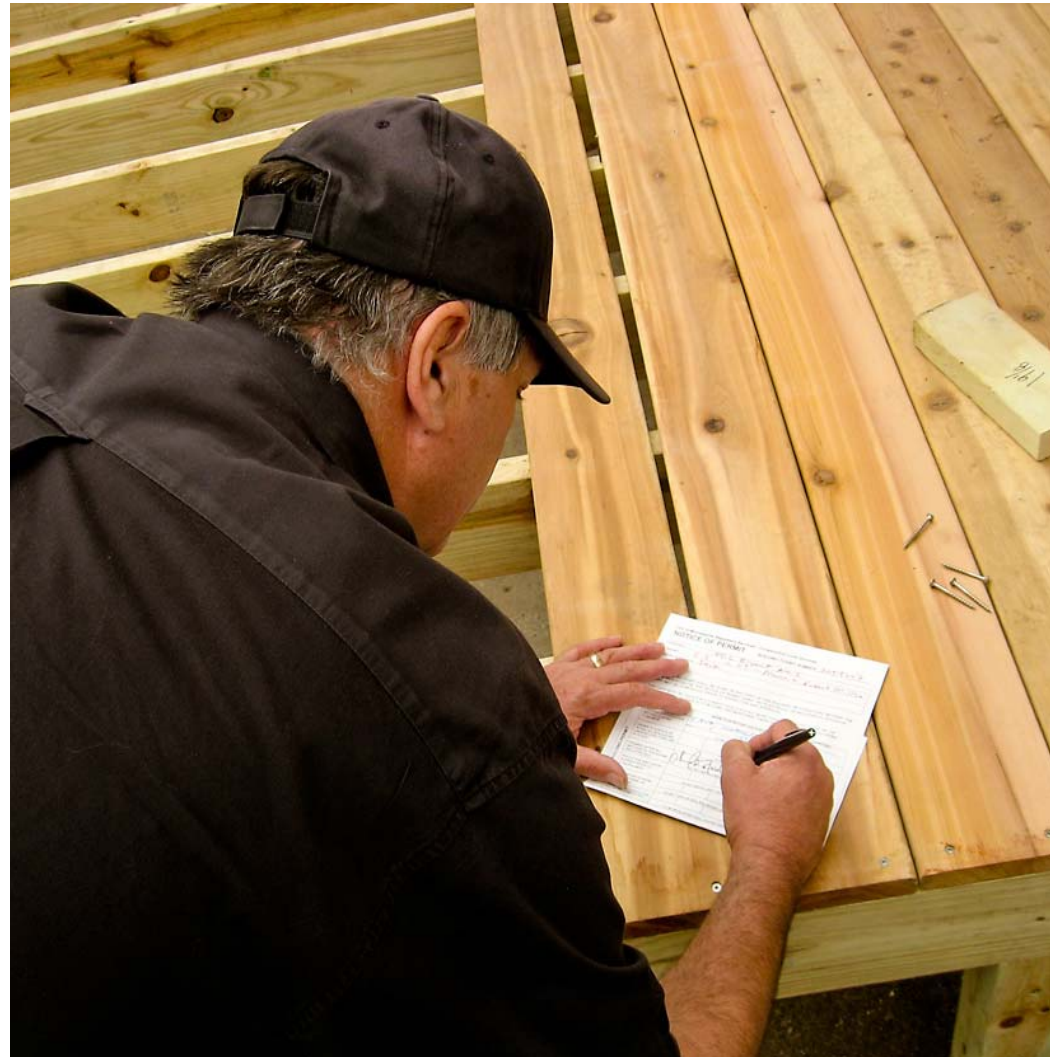
Building inspector
verifies size, location
and depth of footing
as approved on plans



Building inspector verifies approved materials, framing and connectors, height above grade, rise and run of steps.



Building Inspector signs approval at each appropriate inspection and the final Inspection to complete your permit.



Congratulations homeowners
on a project well done!

